

WELCOME TO THE Shining Hill

NEW MARKET

Secondary Plan & Municipal Class Environmental Assessment

PUBLIC INFORMATION CENTRE #3

** Please sign-in at the registration table*

APRIL 2, 2024

6:30 PM - 8:30 PM

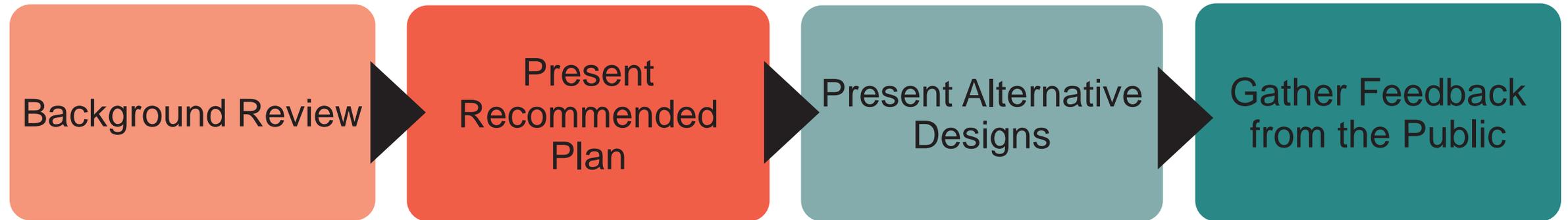
NEW MARKET COUNCIL CHAMBERS



MEETING PURPOSE & AGENDA

Thank you for attending today's PIC 3. The purpose of this PIC is to discuss the proposed Shining Hill Secondary Plan and associated Collector Road Network.

TODAY'S MEETING WILL:



1. Re-introduce the project, planning context and the project team
2. Describe the integrated secondary planning and EA
3. Review work undertaken to date and existing conditions
4. Review OPA 32 policy directions & overall vision

5. Review of Land Use and Transportation Concepts and feedback received
6. Present Recommended Land Use and Transportation Plan
7. Review Draft Shining Hill Secondary Plan and Community Benefits

8. Introduce Alternative Designs Options for:
 - Watercourse Crossings
 - Street Design
 - Intersection Controls
9. Present evaluation results and Recommended Design Options

10. Review next steps and future engagement opportunities
11. Question and Answer Period
12. Break out discussion stations

Share your thoughts and discuss the project with any member of the project team.



WHAT IS THE PROCESS AND TIMELINE?



BACKGROUND REVIEW

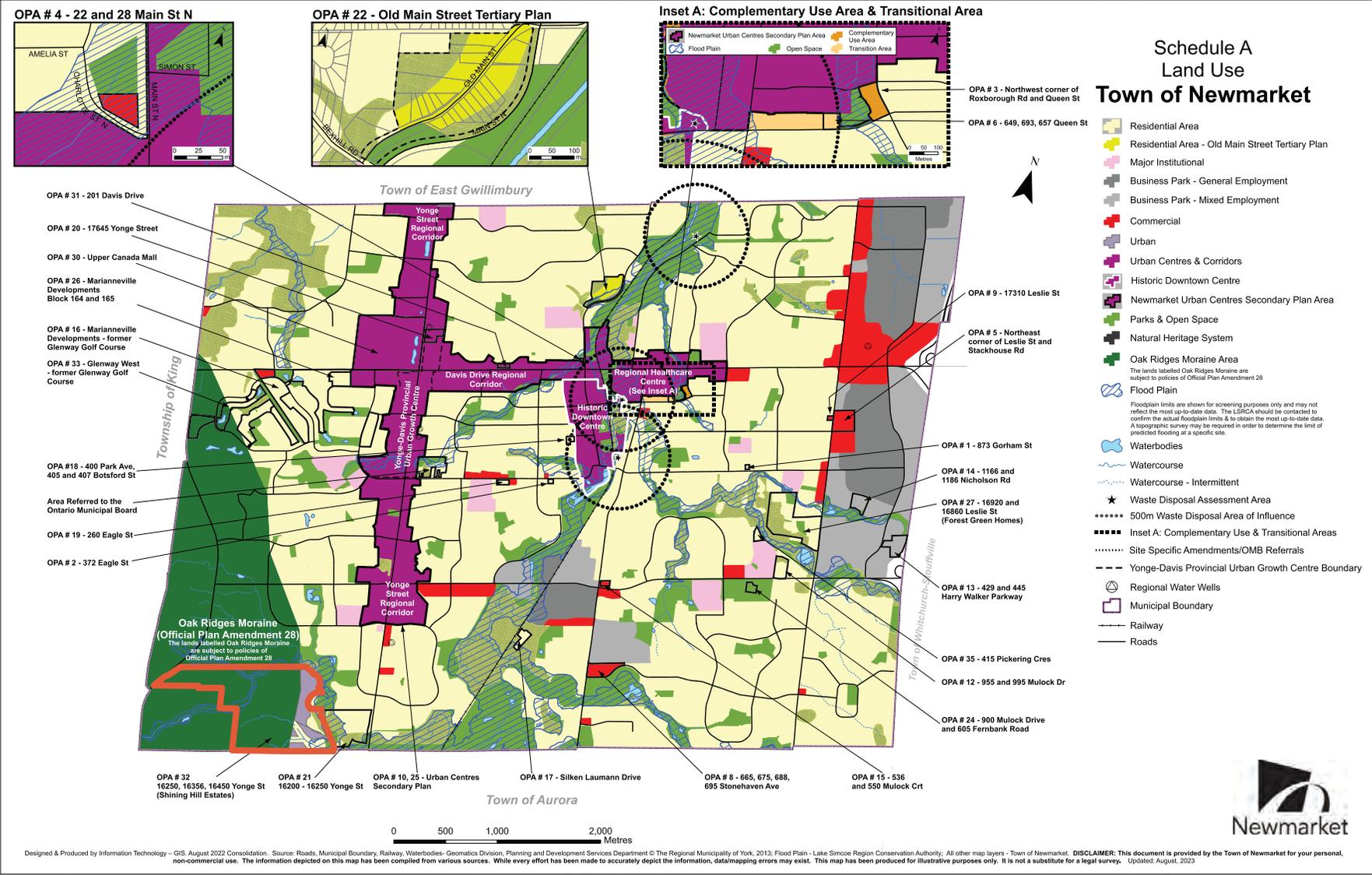


WHERE IS SHINING HILL?

Shining Hill is located in southwest Newmarket, within the traditional territories of the **Wendat, Haudenosaunee, and the Anishinaabe peoples** and the treaty land of the **Williams Treaties First Nations** and other **Indigenous peoples** whose presence here continues to this day. We also acknowledge the **Chippewas of Georgina Island First Nation** as close neighbours and friends.



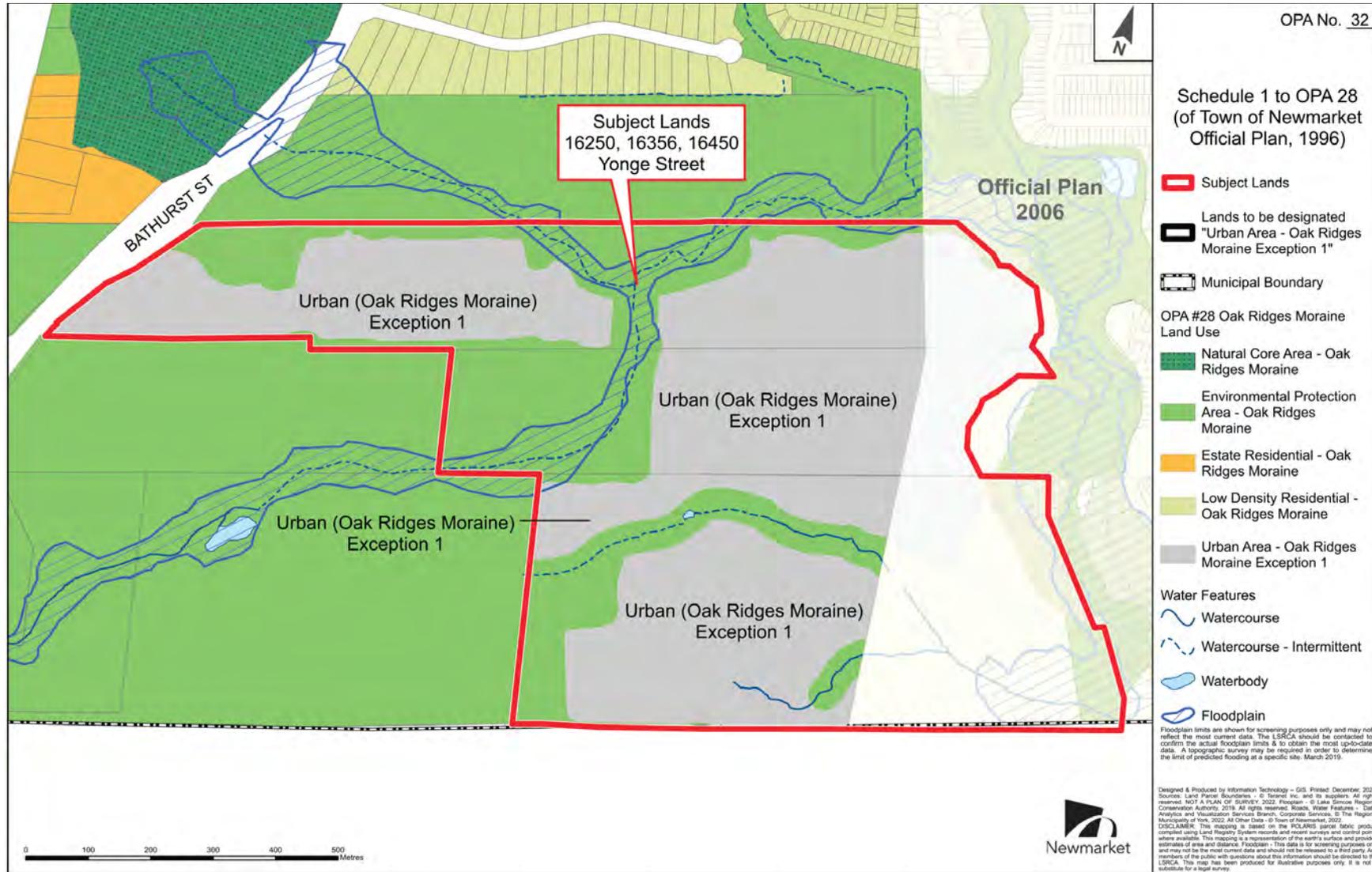
TOWN OF NEWMARKET OFFICIAL PLAN AMENDMENT 32



Subject Site



TOWN OF NEWMARKET OFFICIAL PLAN AMENDMENT 32



WHAT IS A SECONDARY PLAN?

Official Plan Amendment 32 established that the Shining Hill lands are suitable for the **creation a new compact and complete community** and requires a Secondary Plan be prepared to establish a more detailed policy framework to guide future development, land use, community design and infrastructure.

Secondary Plans establish a land use planning and policy framework to guide development. Secondary Plan are more detailed than the Official Plan but still only provide high level policy, land use and development direction.



WHAT IS A MUNICIPAL CLASS ENVIRONMENTAL ASSESSMENT?

A **Municipal Class Environmental Assessment (MCEA)** is required for the **collector roads** within the Shining Hill Secondary Plan. As such, the Shining Hill Secondary Plan process is integrated with a MCEA as a 'Schedule C project' so that both the *Planning Act* and *Ontario Environmental Assessment Act* are satisfied through a single process.

A SCHEDULE C MCEA IS COMPOSED OF FIVE PHASES:

PHASE 1: Define the Problem or Opportunity

PHASE 2: Evaluate Alternative Solutions

PHASE 3: Evaluate Alternative Design Concepts for the Preferred Solution

PHASE 4: Document the Planning and Design Process (Environmental Study Report)

PHASE 5: Implementation following approval of the ESR

Public Information
Centre

Public Information
Centre

30 Calendar Day Public
Comment Period



WHY IS AN MCEA NEEDED FOR SHINING HILL?

MCEA PHASE 1: PROBLEM / OPPORTUNITY STATEMENT

To support the development of the Shining Hill Secondary Plan area as a new residential community, new connecting collector roads, active transportation system, transit system, and infrastructure are needed to properly service and provide access to the land in order to accommodate residential and community uses in a manner consistent with the policies of the York Region Official Plan, Newmarket Official Plan, OPA 32 and the community vision.

ALTERNATIVE TRANSPORTATION SOLUTIONS CONSIDERED:

1. Do Nothing
2. Service with local roads only
3. **Build a new collector road and active transportation network >> RECOMMENDED SOLUTION**

Questions about the MCEA?

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Senior Environmental Planner, GHD
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Suite 210, Markham, ON
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Email: shininghill@mgp.ca



WHAT IS SUPPORTING THE PROCESS?

The secondary plan and MCEA is supported by an **extensive list of technical studies** prepared by a team of experts that includes:

1. Archaeological Assessment
2. Cultural Heritage Assessment
3. Environmental Site Assessment
4. Natural Heritage Evaluation
5. Master Environmental Servicing Plan
6. Retail & Service Commercial Needs Assessment
7. Parks, Open Space and Community Facilities Needs
8. Housing Needs, Mix and Affordability Assessment
9. Community Design Plan
10. Transportation Mobility Plan
11. Community Energy and Sustainable Development Plan
12. Economic / Fiscal Impact Analysis
13. Noise Impact Study
14. Planning Policy Review and Opinion

The project team is also consulting with the **Town of Newmarket, Lake Simcoe Region Conservation Authority, school boards, and utility and service providers** as well as the **public, community groups and indigenous communities** to determine the vision for this new community and solutions to bring that vision to fruition.



MULTI-DISCIPLINARY PROJECT TEAM



Planning and Urban Design
Housing Needs and Affordability
Community Facilities Needs



Municipal Class
Environmental Assessment



Master Servicing Lead



Landscape Architecture
Environmental Restoration and
Enhancement



Ecology
Environmental Impact Study



Multi-Modal Transportation Plan

Ward Land Economics Inc.

Retail and Service Commercial
Needs Assessment



Fiscal Impact Analysis



Sustainable Development and
Energy Plan



Archaeological Assessment and
Cultural Heritage



Hydrogeological Analysis



Geotechnical Analysis

Have a question about the project or process?

Allyssa Hrynyk
Malone Given Parsons Ltd.
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Markham, ON
905.513.0170
Email: shininghill@mgp.ca



OFFICIAL PLAN AMENDMENT 32

OPA 32 guiding principles:

1 Housing Affordability by providing for a mix of unit types, sizes, ownership models and tenures.

2 Address Climate Change through environmentally progressive housing and sustainable design.

3 Community Focused Design to reduce car dependency.

The Secondary Plan must support the following **six policy directives** from OPA 32:

- 1. Protect and enhance the natural environment**
- 2. Build a compact, complete and diverse community**
- 3. Promote efficient development patterns and standards**
- 4. Strive for design excellence through intentional placemaking and urban design**
- 5. Plan for active mobility options including the provision of complete streets**
- 6. Set high standards for sustainability, waste reduction, energy efficiency, water conservation**



SUSTAINABILITY AND ENERGY CONSERVATION

Shining Hill is committed to **showcasing innovative and environmentally progressive technologies** through the Discovery Homes project and other community-wide initiatives.

A **Community Energy and Sustainable Development Plan** will be prepared to identify opportunities to integrate into the community features and approaches to conserve energy and water resources, reduce carbon emissions and support a more inherently sustainable and resilient community.

COMMUNITY-WIDE OPPORTUNITIES



Underground Stormwater Management Chamber



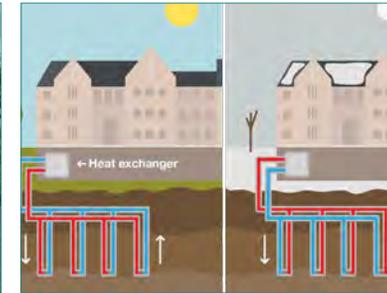
Underground Stormwater Management Storage Facilities



Bio-retention in Boulevard (Low Impact Development)



Swale in Boulevard (Low Impact Development)



Geo-thermal Energy



Solar Energy



CAPITAL FACILITIES AGREEMENT

The Shining Hill Secondary Plan will be planned and design based on the highest standard of complete and sustainable communities in accordance with the Capital Facilities Agreement and will feature:

- Green Environmental Funding
- Mulock House Heritage Funding
- Public Art Funding
- Minimum 32 ha (80 acres) NHS
- 5,000 trees in the reforestation area
- Tennis Club relocation
- >1 acre community garden
- >1 acre Dog Park(s)
- 6 km walking trails within the NHS
- 2.5 acres (~1 ha) to affordable rental housing
- 30 ground-related Discovery Homes
- Range of housing
- 25 dwelling units with basement secondary suites
- Seniors Housing
- Develop a complete community where residents can work, shop and access services near housing.
- Implementation of Low Impact Development measures
- All dwelling units will exceed Energy Star or equivalent
- Geothermal for mid-rise / multi-tenanted buildings
- Grade related dwellings to include energy or heat recovery ventilator, solar ready conduit, EV supply outlet, drain water heat recovery systems, and native species

“I believe this agreement will represent a new standard in sustainable community building and environmental stewardship.”
Mayor John Taylor



As we imagine the future place that is Shining Hill, the goal is to create a **new kind of PEDESTRIAN FIRST neighbourhood** that not only delivers a diversity of housing options and choices for all people in all stages of life but moreover set a higher benchmark for

**inherently more beautiful,
more sustainable, and
more resilient living.**



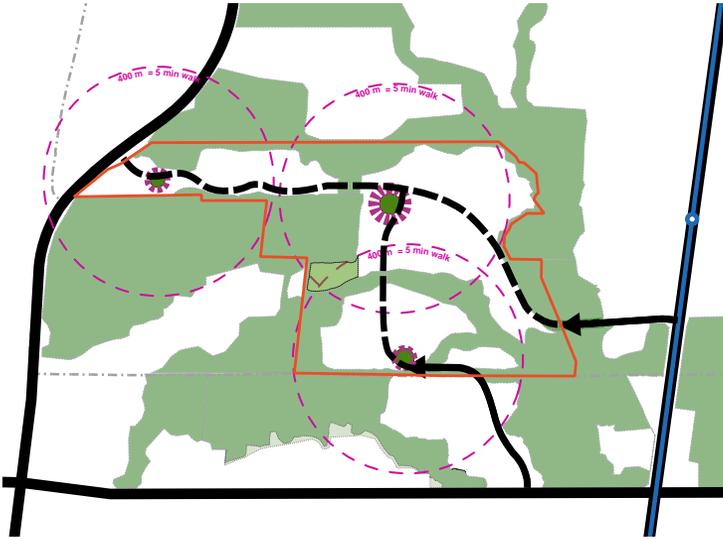
RECOMMENDED LAND USE PLAN



MCEA PHASE 3: ALTERNATIVE CONCEPTS

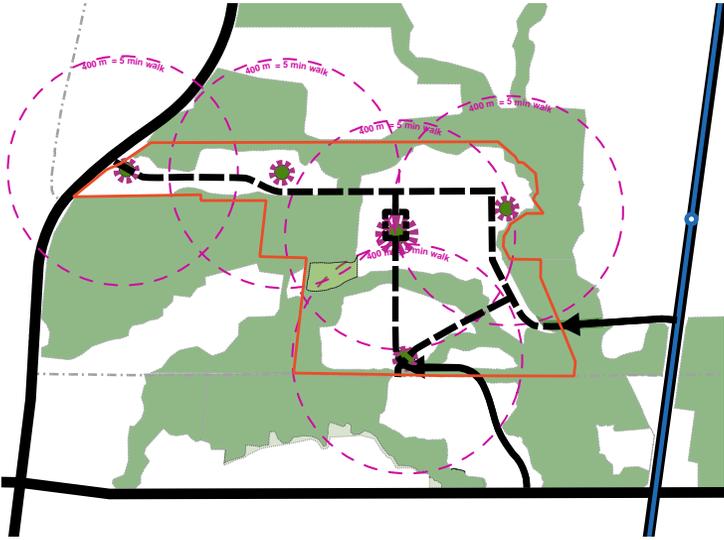
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CONCEPT 1:
Central Node and Spine



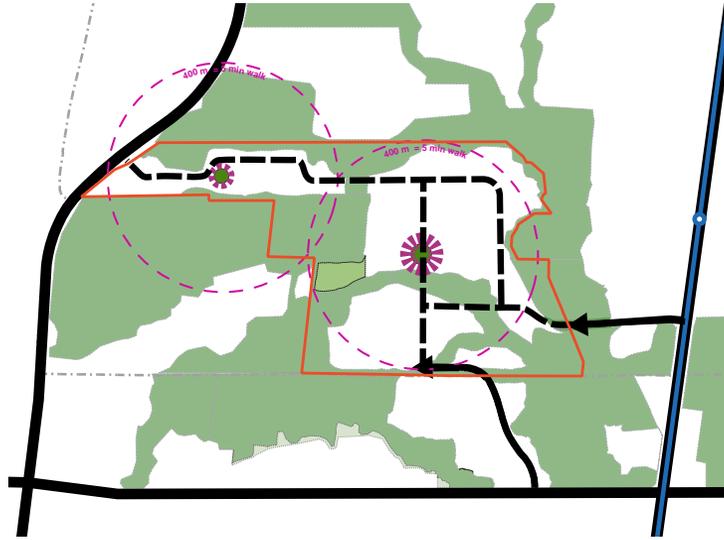
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CONCEPT 2:
Multi-destination



3

CONCEPT 3:
Focused Grid



MCEA PHASE 3: ALTERNATIVE LAND USE CONCEPTS

1

CONCEPT 1: Central Node and Spine



2

CONCEPT 2: Multi-destination



3

CONCEPT 3: Focused Grid



- Shining Hill Secondary Plan Area
- Preliminary Natural Heritage
- Existing Collector Road

- Proposed Collector Road
- Preliminary Location for U/G Stormwater Facility with Park
- Proposed Park or Square

- S Proposed Elementary School
- Reforested Passive Park
- Retail / Commercial Frontage

- High Rise Residential
- Mid Rise Residential (
- Low Rise Residential



MCEA PHASE 3: ALTERNATIVE COLLECTOR ROAD NETWORK CONCEPTS

1

**CONCEPT 1:
Central Node and Spine**



2

**CONCEPT 2:
Multi-destination**



3

**CONCEPT 3:
Focused Grid**



MCEA PHASE 3: EVALUATION CRITERIA & METHODOLOGY

TRANSPORTATION

- Roadway Connectivity & Capacity
- Geometry & Alignment
- Active Transportation
- Local Transit
- Construction Duration
- Operations & Maintenance

NATURAL ENVIRONMENT

- Fish & Fish Habitat
- Vegetation & Vegetation Communities
- Wildlife, Wildlife Habitat, & Connectivity
- Designated Features (i.e., PSW, significant woodlands, significant wildlife habitat)
- Rare Species

BUILT ENVIRONMENT

- Existing Infrastructure
- Topography
- Urban Design
- Surrounding Neighborhoods
- Private Property
- Archaeological & Cultural Resources

SOCIAL ENVIRONMENT

- Housing Types & Opportunities
- Travel Behaviour
- Parks & Amenities
- Impact to Area Residents

ECONOMIC ENVIRONMENT

- Fiscal Impact
- Economic Viability
- Capital Costs
- Cost of Operation & Maintenance
- Development Phasing

	CONCEPT 1: Central Node & Spine	CONCEPT 2: Multi-destination	CONCEPT 3: Focused Grid
Transportation			
Natural Environment			
Built Environment			
Social Environment			
Economic + Financial			
NOT RECOMMENDED		RECOMMENDED HYBRID OF ALTERNATIVE 2 & 3	



RECOMMENDED LAND USE AND TRANSPORTATION PLAN

DRAFT SHINING HILL SECONDARY PLAN



HOW WILL SERVICES AND RETAIL BE PROVIDED?

An appropriately-scaled, **vibrant community core** will provide a focal point for the Shining Hill community. The community core will provide opportunities for retail and services within a reasonable walking distance of the majority of residents.

RETAIL OBJECTIVES

- Easy access to daily needs
- Reduce car dependency / Walkable
- Placemaking and Vibrancy

RETAIL CONSTRAINTS

- Large existing supply of retail and service commercial space
- Demand is population driven
- Retail trends



Large format, car oriented



Hybrid



Mixed Use Building



Live-Work



Stand Alone, Pedestrian-Oriented



Pedestrian-oriented main street or town square (focused on placemaking)



SCHEDULE A

SECONDARY PLAN AREA AND COMMUNITY STRUCTURE PLAN

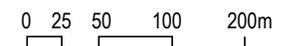
Legend:

- Shining Hill Secondary Plan Area
- Residential
- Community Core
- Secondary Node
- ★ Focal Point / 5 minute (400m) Walking Distance
- Natural Heritage System
- Village Square
- Reforested Passive Park
- School
- Park
- Stormwater Management Park
- Existing Trail
- Proposed Adjacent Trail
- Proposed MUP within ROW
- Proposed Trails / MUP

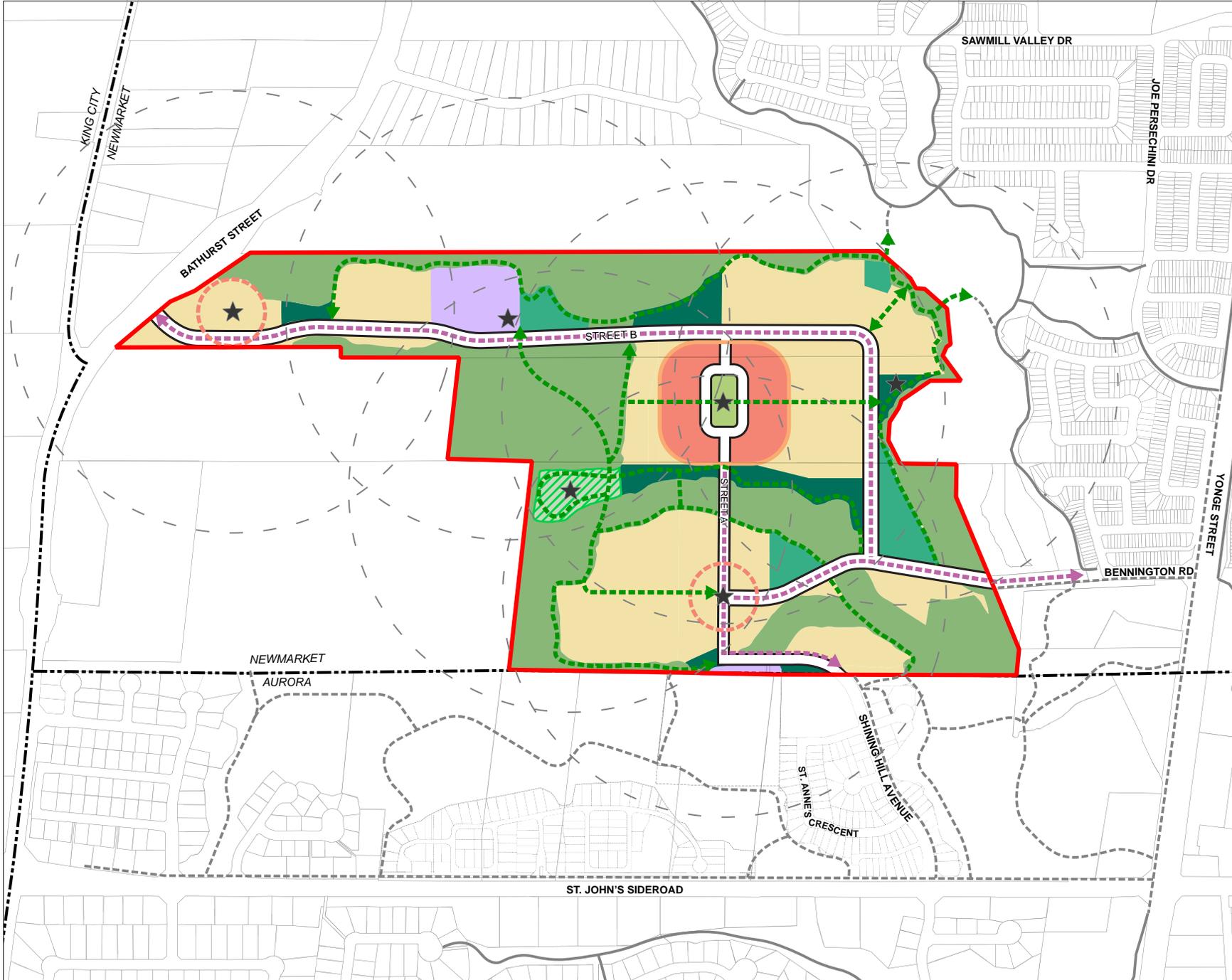
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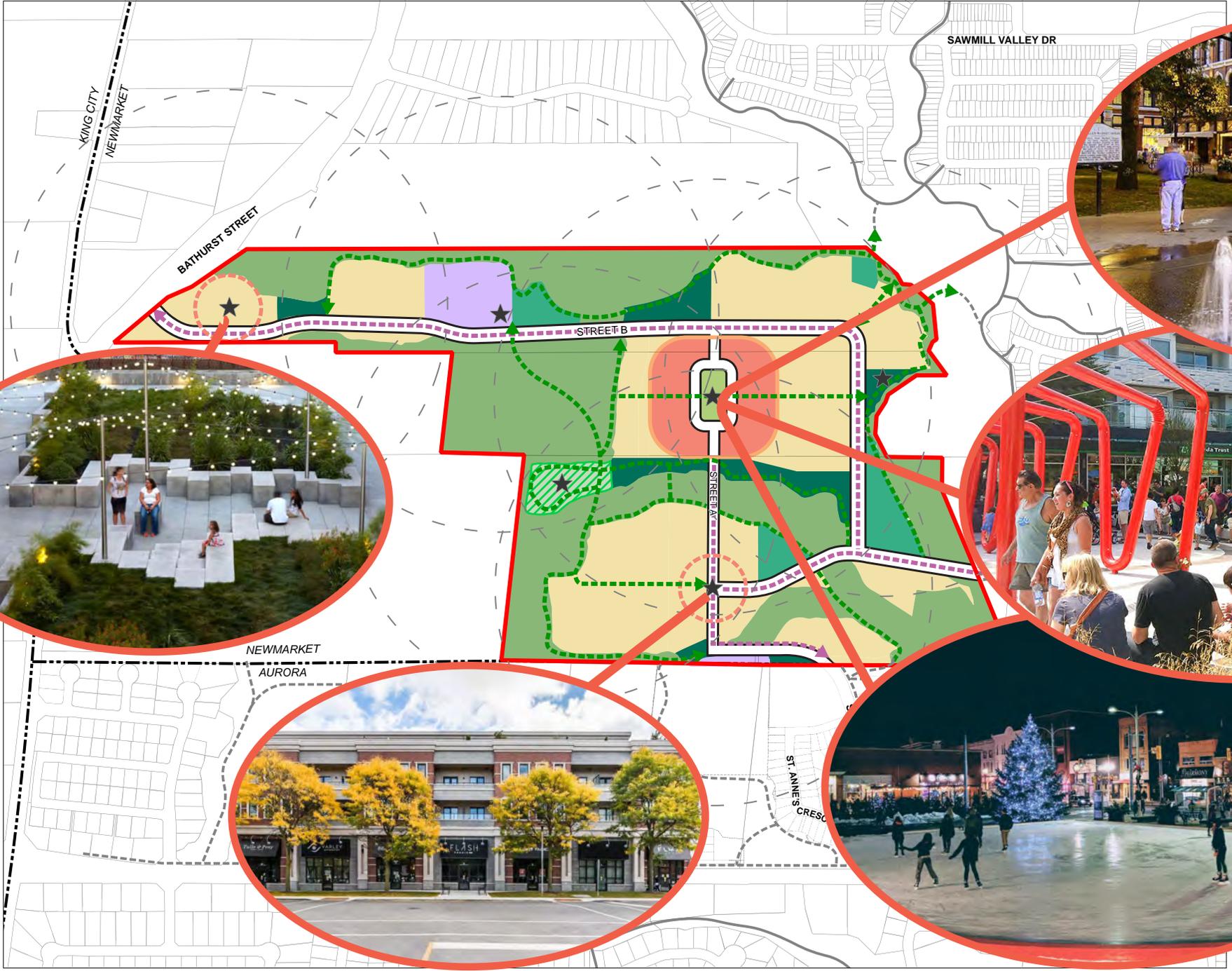
Shining Hill

NEWMARKET



December 2023





WHAT TYPE OF HOMES AND BUILDINGS WILL BE IN SHINING HILL?

A full range and mix of residential housing opportunities will be provided supported by a variety of services and shops, community uses, and parks and open spaces to meet daily needs and establish an land use pattern and built form that promotes walking and active mobility, thereby reducing the demand for cars, land, and infrastructure.



Low-rise Apartments (4 Storeys)



Mid-rise Apartments (5 - 11 Storeys)



Mid to High-rise Apartments (12 - 15 Storeys)



Low-rise Apartments (4 Storeys)



Stacked & Back-to-Back Townhomes



Laneway Accessed Townhomes



Townhouses



Depluxes



Singled Detached



Laneway Accessed Single Detached



Coach House & Laneway Suite

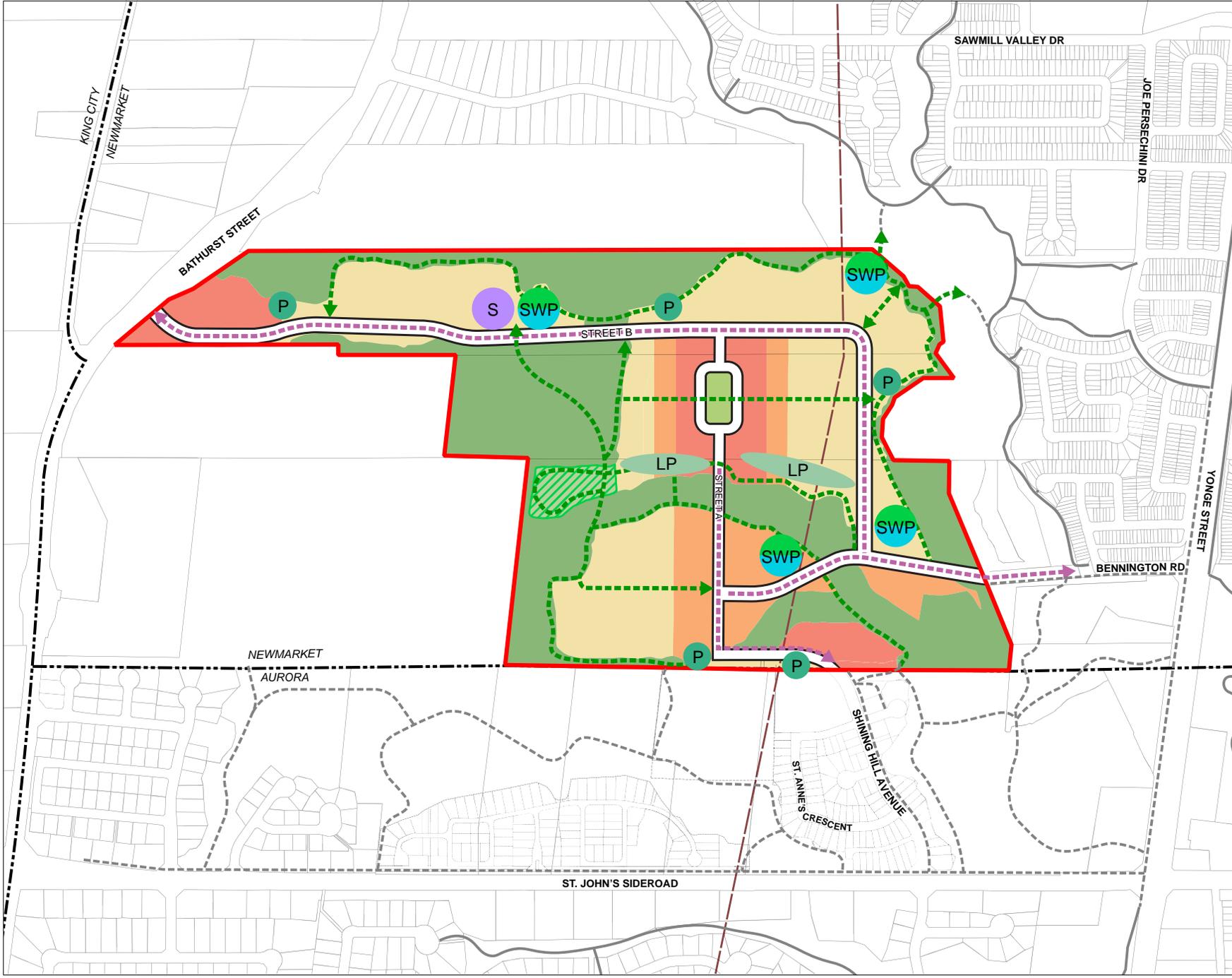


SCHEDULE B

LAND USE

Legend:

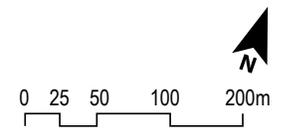
- Shining Hill Secondary Plan Area
- Low-Rise Residential
- Mid-Rise Residential
- Mid-Rise Mixed Use Residential
- Natural Heritage System
- Village Square
- Reforested Passive Park
- S School
- P Park
- LP Linear Park
- SWP Underground Stormwater Management Park at Grade
- Existing Trail
- Proposed Adjacent Trail
- Proposed MUP within ROW
- Proposed Trails / MUP
- Oak Ridges Moraine



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Shining Hill

NEWMARKET



WHAT FEATURES AND COMMUNITY USES WILL BE PROVIDED?

Community amenities and public uses will be planned for and located in proximity to most residents throughout the Shining Hill Secondary Plan community as **focal points for gathering, placemaking and identity.**

COMMUNITY AMENITIES INCLUDE:

- Parks and Open Space System
- Trails and Multi-use Paths
- Active and Passive Recreation
- Places of Gathering
- Community Core
- Retail and Services
- An Elementary School
- Landmarks, Focal Points and Vistas



Extensive Trail and Path Network



Community Gardens



Linked System of Parks and Open System



Active Streets



Enjoyable Streets to Walk



Variety of Destinations



Public Art



Landmarks



Focal Points



SCHEDULE D

PARKS AND OPEN SPACE SYSTEM

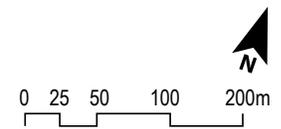
Legend:

-  Shining Hill Secondary Plan Area
-  Natural Heritage System
-  Village Square
-  Park
-  Stormwater Management Park
-  Linear Park
-  Reforested Passive Park
-  School
-  Oak Ridges Moraine
-  Watercourse
-  Existing Trail
-  Proposed Adjacent Trail
-  Proposed MUP within ROW
-  Proposed Trails / MUP
-  Long Term Stable Top of Slope
-  Existing Hedgerow

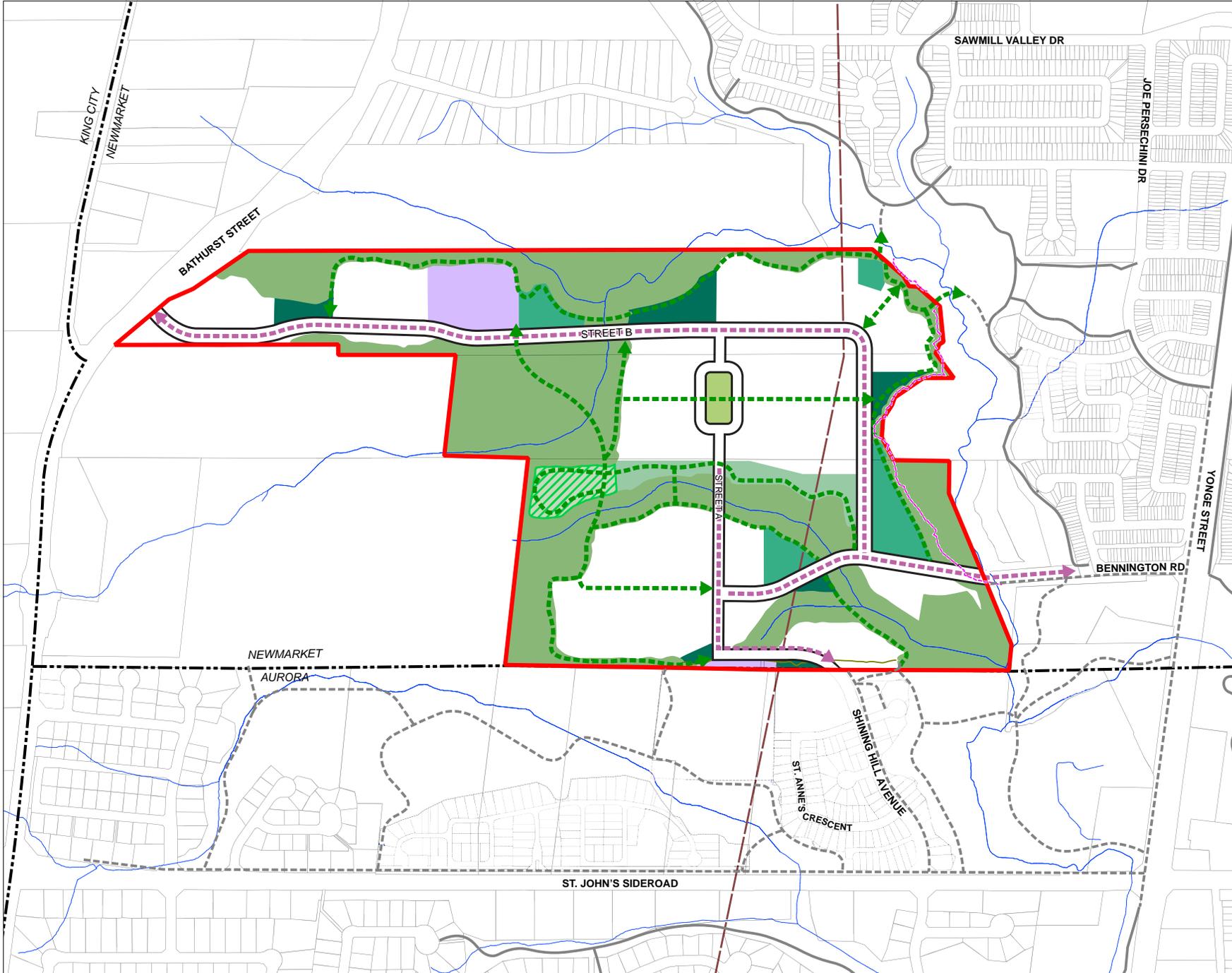
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Shining Hill

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WHAT TYPE OF STREETS WILL BE WITHIN SHINING HILL?

A connected network of **complete streets** will be designed that supports internal transit service and an extensive active transportation network will provide a high level of connectivity to prioritize walking, cycling and other active modes.

COMPLETE STREETS:

- Employ a well-connected, grid street network
- Prioritize sidewalks that are accessible for all
- Minimize vehicle interruptions along pedestrian ways
- Reduce traffic lane widths
- Use design to control speed control & calm traffic
- Integrate transit service and stations
- Integrate Low Impact Development measures
- Establish streets that are beautiful and enjoyable to use
- Integrate with the fabric of the community



EXAMPLES OF COMPLETE STREETS



SCHEDULE C

MULTI-MODAL MOBILITY NETWORK

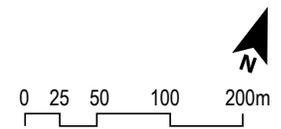
Legend:

- Shining Hill Secondary Plan Area
- Natural Heritage System
- Reforested Passive Park
- Existing Trail
- Proposed Adjacent Trail
- Proposed MUP within ROW
- Proposed Trails / MUP
- Residential Collector
- Residential Collector with Median
- Core Collector 1
- Aurora Collector 2
- One-Way Town Square Collector
- Possible Future Connections
- Crossing

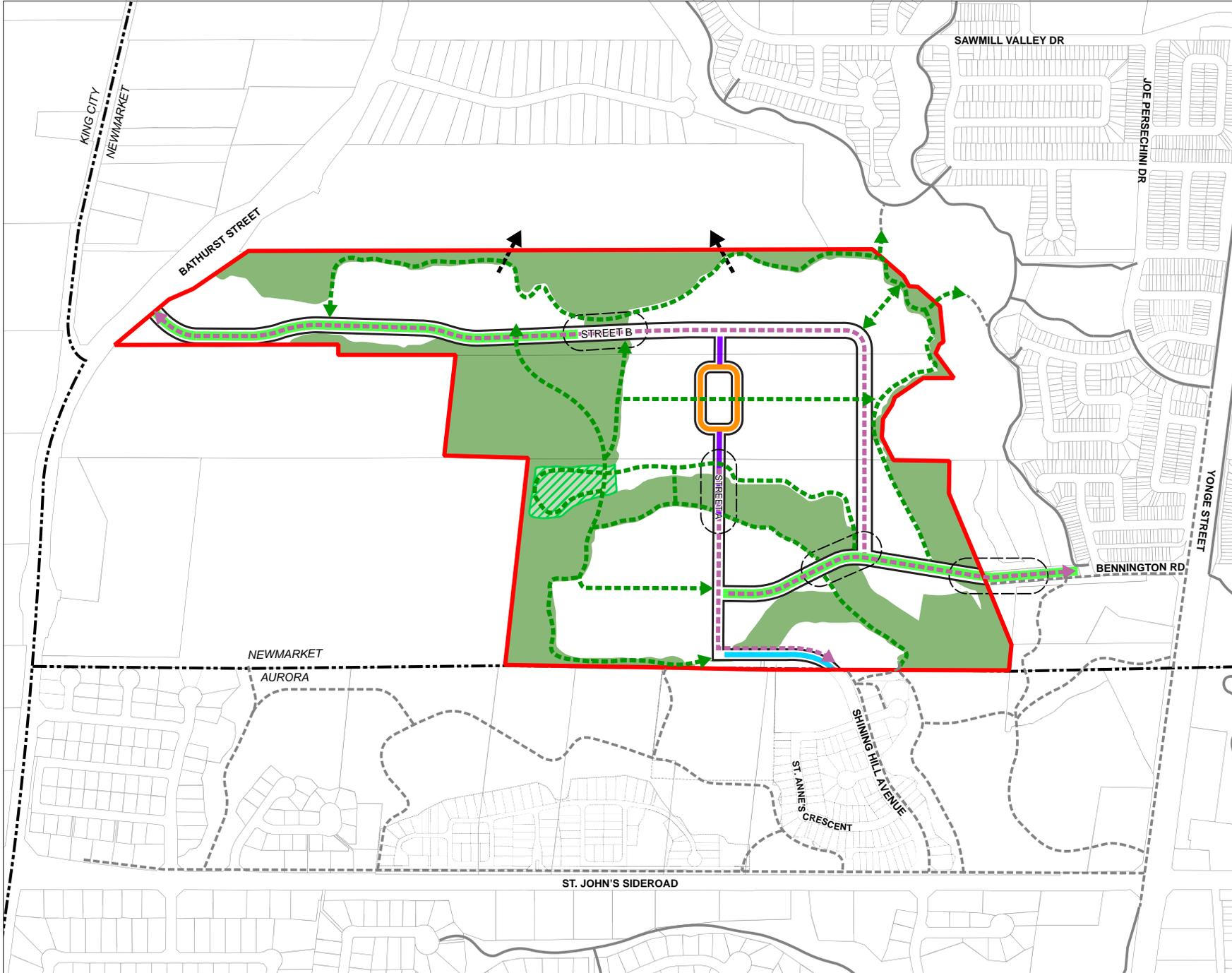
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Shining Hill

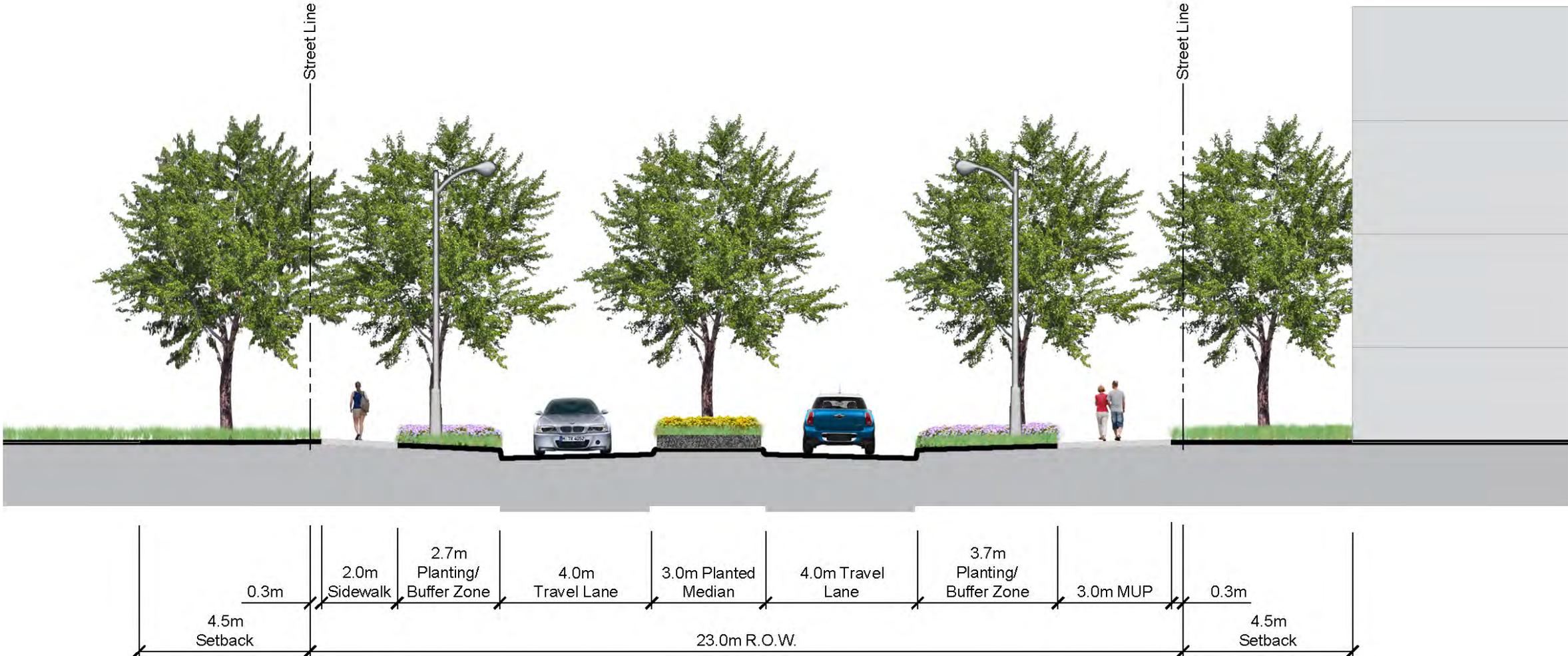
NEWMARKET



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RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



GATEWAY COLLECTOR STREET



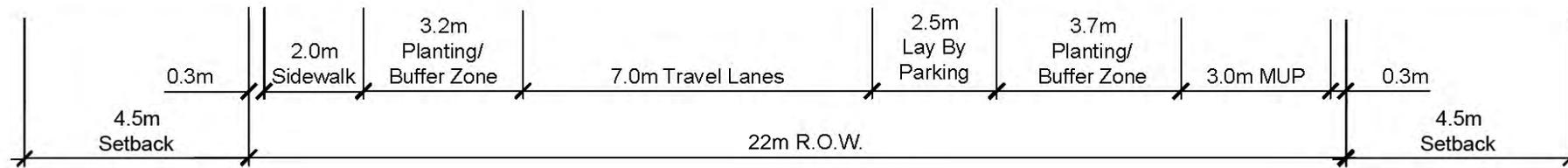
RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



SHINING HILL WAY EXTENSION



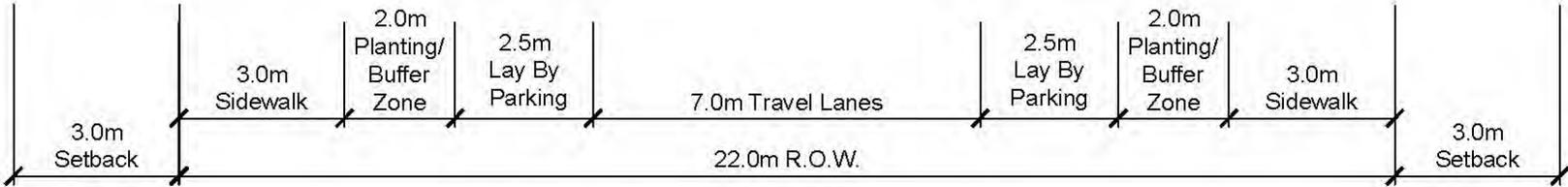
RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



RESIDENTIAL COLLECTOR



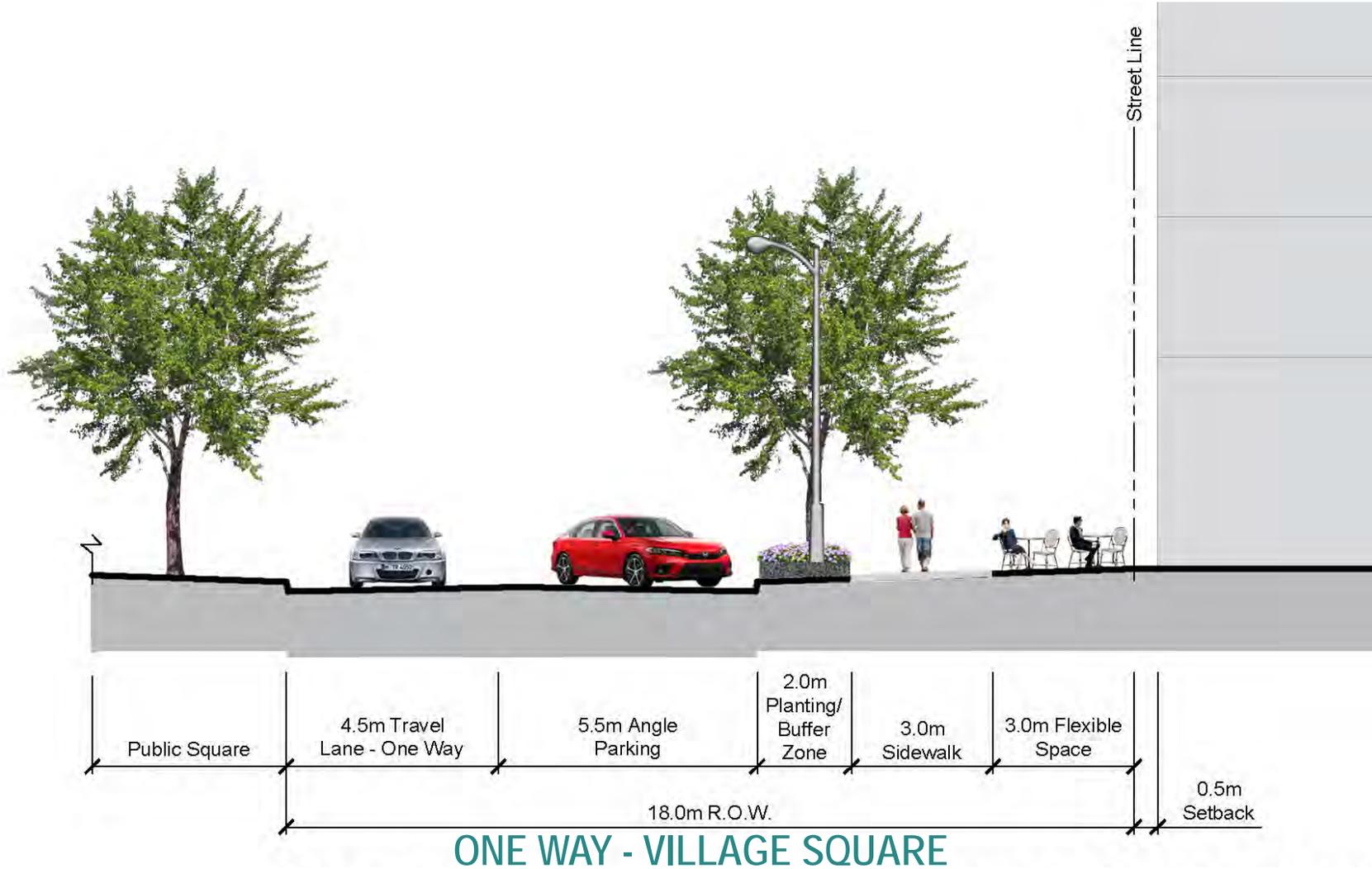
RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



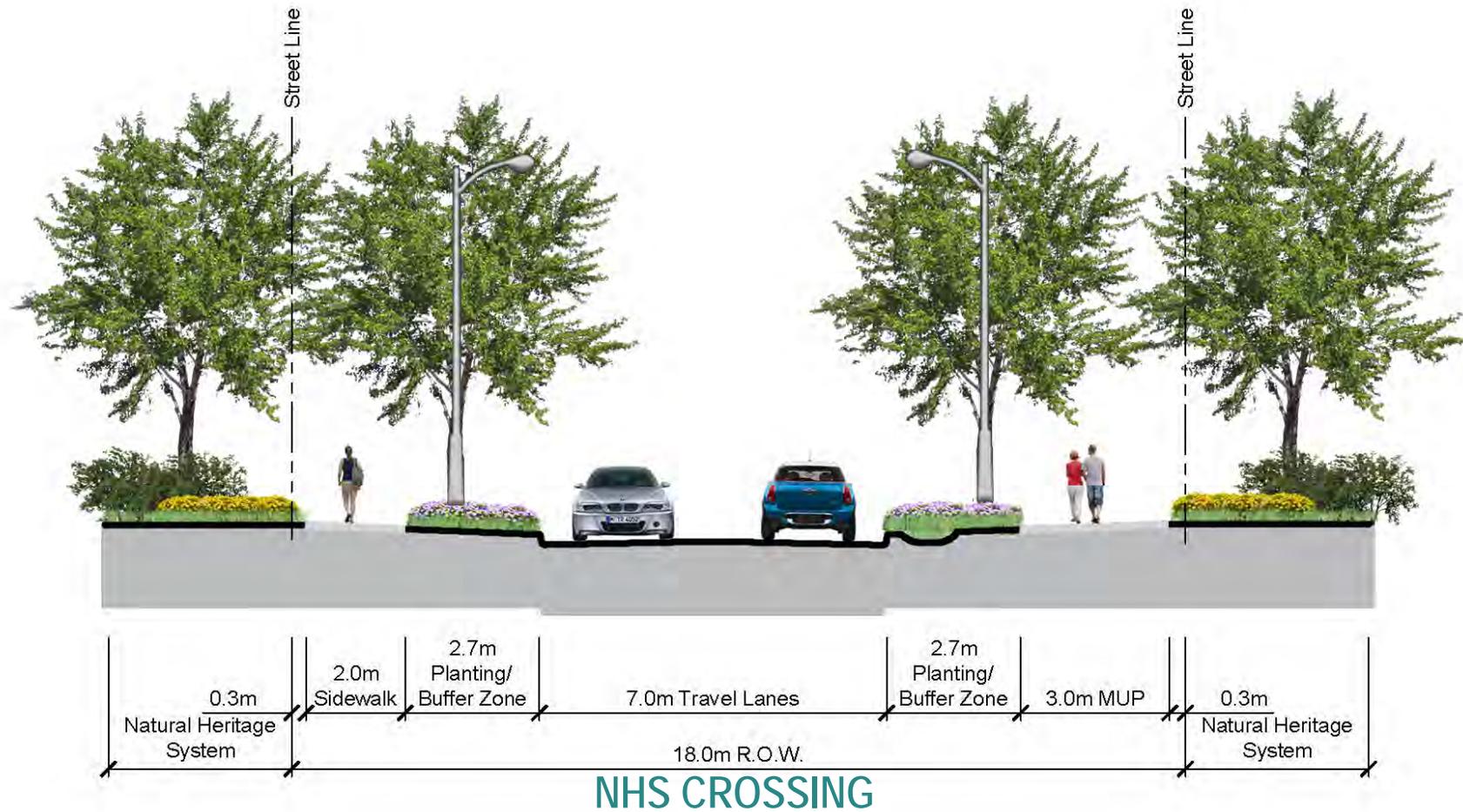
VILLAGE CORE COLLECTOR



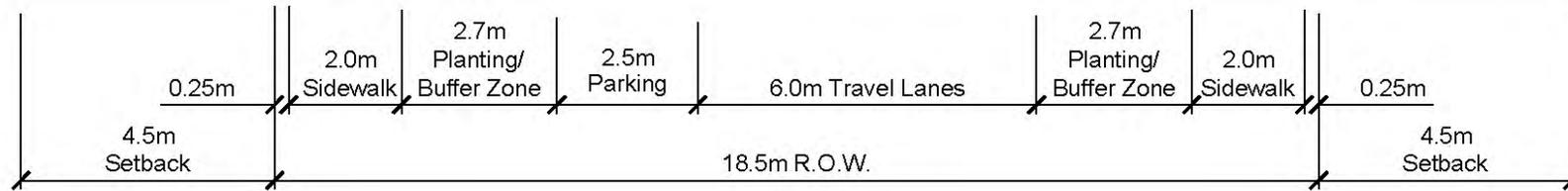
RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



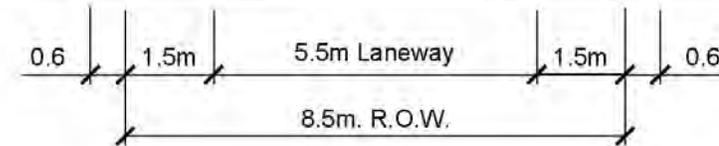
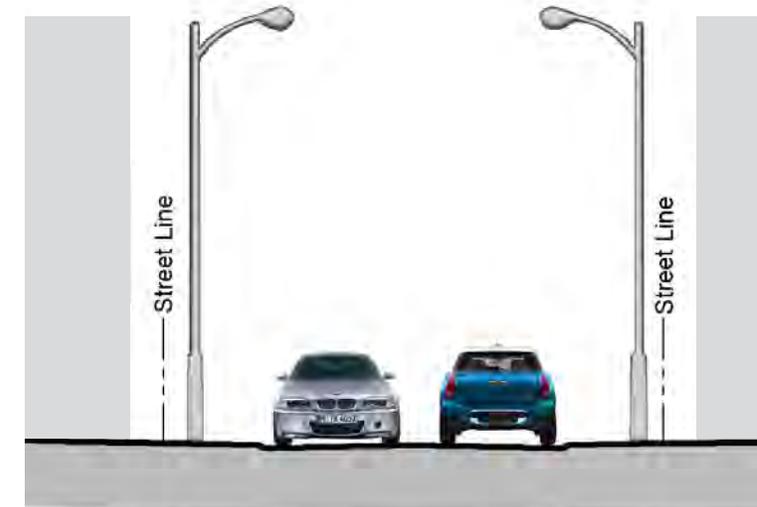
RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



RECOMMENDED ALTERNATIVE STREET CROSS SECTIONS



LOCAL STREET



LANEWAY



SCHEDULE E

NEIGHBOURHOODS

Legend:

 Shining Hill Secondary Plan Area

Neighbourhoods

 1 St. Anne

 2 Central

 3 Bathurst

 Natural Heritage System

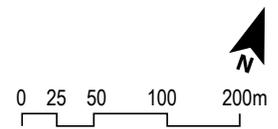
 Reforested Passive Park



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Shining Hill

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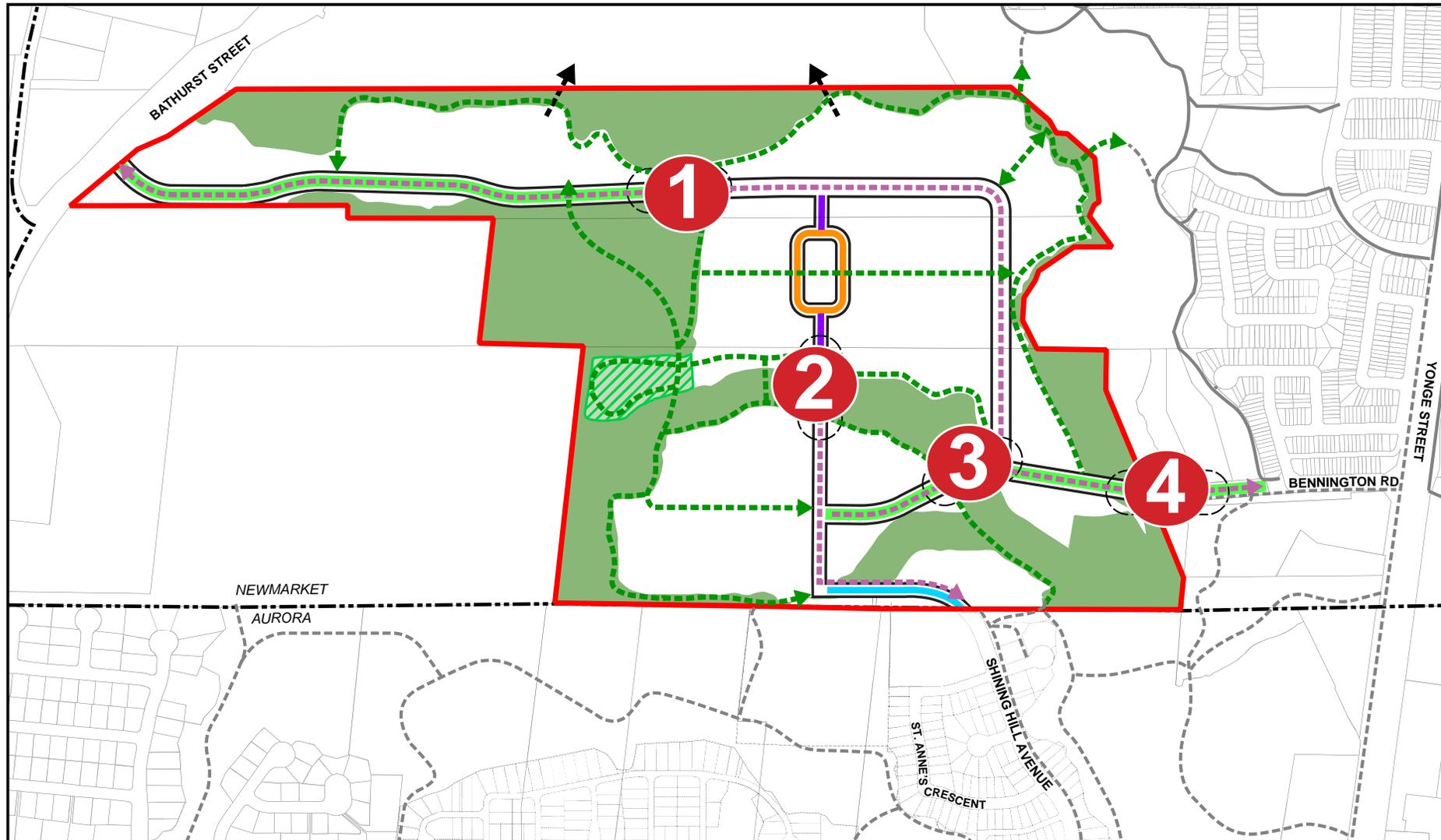


December 2023

ALTERNATIVE DESIGN CONCEPTS



EVALUATION OF WATERCOURSE CROSSING ALTERNATIVES



Legend:

- Shining Hill Secondary Plan Area
- Natural Heritage System
- Reforested Passive Park
- Existing Trail
- Proposed Adjacent Trail
- Proposed MUP within ROW
- Proposed Trails / MUP
- Residential Collector
- Residential Collector with Median
- Core Collector 1
- Aurora Collector 2
- One-Way Town Square Collector
- Possible Future Connections
- Crossing

WATERCOURSE CROSSING DESIGN ALTERNATIVES

CLOSED BOTTOM CULVERT



OPEN BOTTOM CULVERT



SINGLE SPAN BRIDGE



NOTE: Pictures and illustrations are for illustrative purposes only; actual intersection design will depend on site conditions and cross-section of intersecting streets

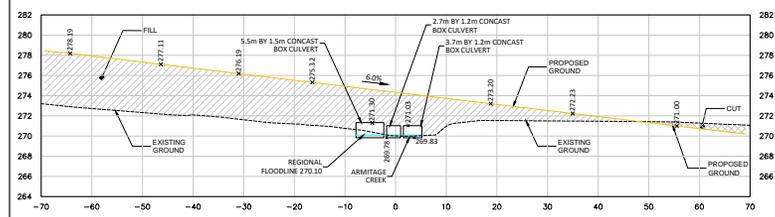


EVALUATION OF WATERCOURSE CROSSING #1 ALTERNATIVES

CLOSED BOTTOM CULVERT



PLAN VIEW OF ARMITAGE CREEK 37 ROAD CROSSING 1

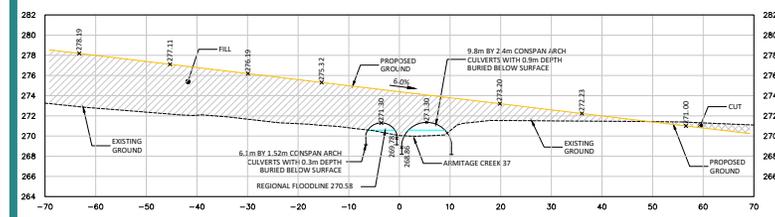


PROFILE VIEW OF ARMITAGE CREEK 37 ROAD CROSSING 1

OPEN BOTTOM CULVERT



PLAN VIEW OF ARMITAGE CREEK 37 ROAD CROSSING 1

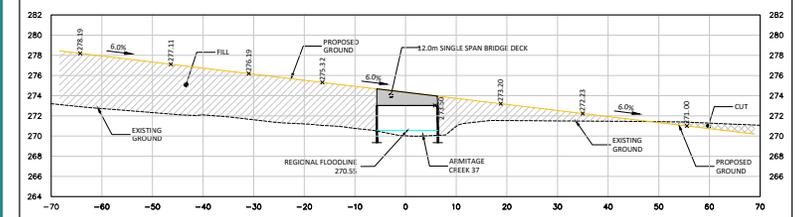


PROFILE VIEW OF ARMITAGE CREEK 37 ROAD CROSSING 1

SINGLE SPAN BRIDGE



PLAN VIEW OF ARMITAGE CREEK 37 ROAD CROSSING 1



PROFILE VIEW OF ARMITAGE CREEK 37 ROAD CROSSING 1

LEGEND:

- ARMITAGE CREEK TRIBUTARY (BEACON, DECEMBER 2023)
- 270.00 EXISTING CONTOUR AND ELEVATION
- EXISTING REGIONAL FLOODLINE
- HEADWATER DRAINAGE FEATURE
- LSRCA STAKED DRIPLINE (JULY 2020)
- LSRCA STAKED DRIPLINE + 10m BUFFER (JULY 2022)
- ELC WETLAND COMMUNITY (BEACON, NOVEMBER 2023)
- ELC WETLAND COMMUNITY + 15m BUFFER (BEACON, NOVEMBER 2023)
- WATERCOURSE + 30m BUFFER (BEACON, DECEMBER 2023)
- MEANDER BELT + 20% FACTOR OF SAFETY (BEACON, DECEMBER 2023)
- EROSION ACCESS ALLOWANCE MEANDER BELT + 20% FOS + 6.0m BUFFER (BEACON, DECEMBER 2023)
- MAX 3:1 SLOPE

EVALUATION CATEGORY	#1: CLOSED BOTTOM CULVERT	#2: OPEN BOTTOM CULVERT	#3: SINGLE SPAN BRIDGE
Technical	Yellow	Green	Yellow
Natural Environment	Red	Yellow	Green
Financial	Green	Yellow	Red

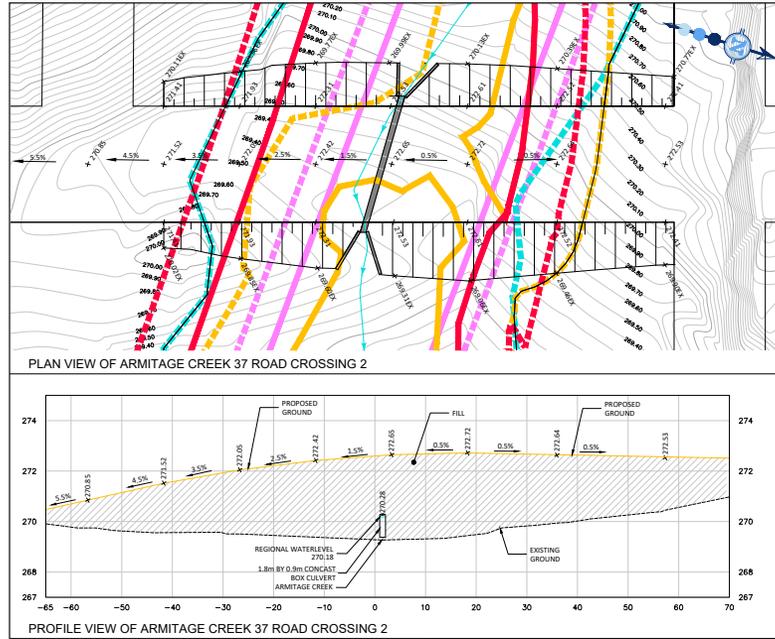
NOT RECOMMENDED

RECOMMENDED

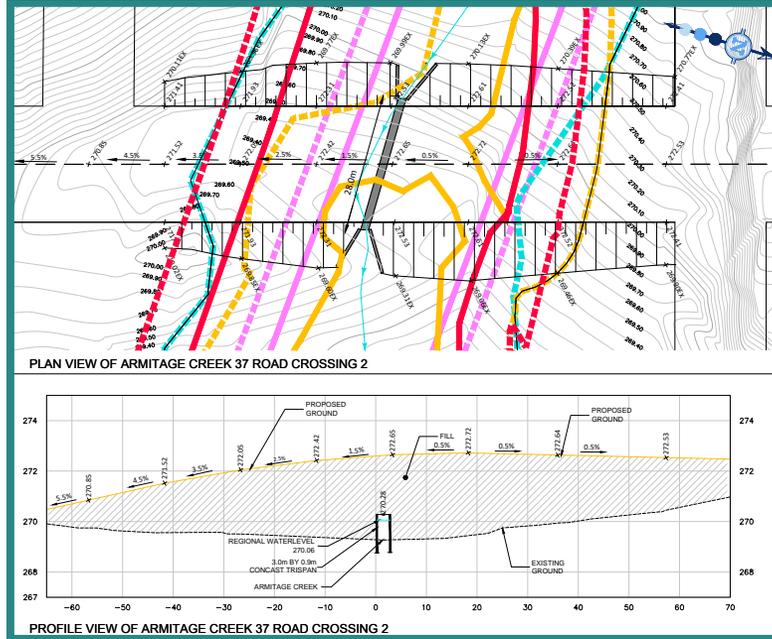
NOT RECOMMENDED

EVALUATION OF WATERCOURSE CROSSING #2 ALTERNATIVES

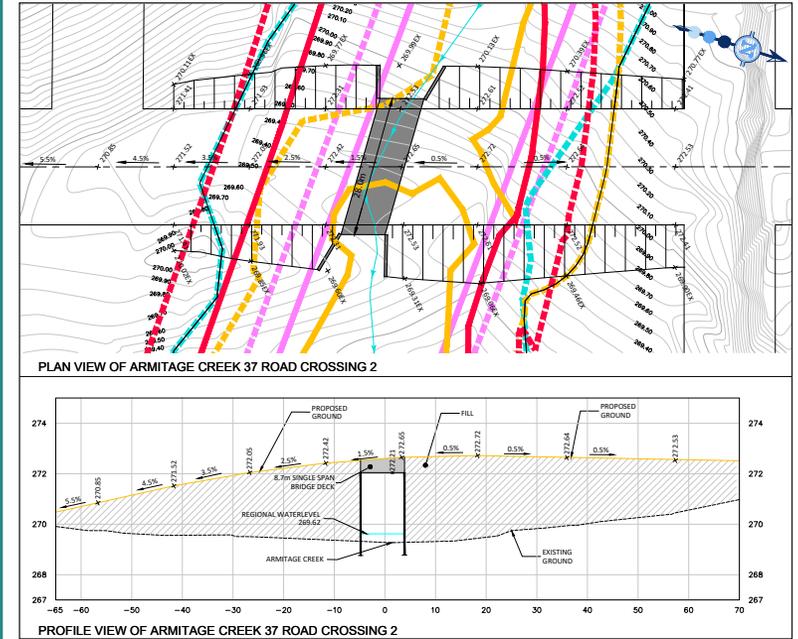
CLOSED BOTTOM CULVERT



OPEN BOTTOM CULVERT



SINGLE SPAN BRIDGE



LEGEND:

- ARMITAGE CREEK TRIBUTARY (BEACON, DECEMBER 2023)
- 270.00 EXISTING CONTOUR AND ELEVATION
- ELC WETLAND COMMUNITY (BEACON, NOVEMBER 2023)
- ELC WETLAND COMMUNITY + 15m BUFFER (BEACON, NOVEMBER 2023)
- ELC WOODLAND COMMUNITY (BEACON, NOVEMBER 2023)
- ELC WOODLAND COMMUNITY + 10m BUFFER (BEACON, NOVEMBER 2023)
- WATERCOURSE + 30m BUFFER (BEACON, DECEMBER 2023)
- MEANDER BELT + 20% FACTOR OF SAFETY (BEACON, DECEMBER 2023)
- EROSION ACCESS ALLOWANCE MEANDER BELT + 20% FOS + 6.0m BUFFER (BEACON, DECEMBER 2023)

MAX 3:1 SLOPE

EVALUATION CATEGORY	#1: CLOSED BOTTOM CULVERT	#2: OPEN BOTTOM CULVERT	#3: SINGLE SPAN BRIDGE
Technical			
Natural Environment			
Financial			

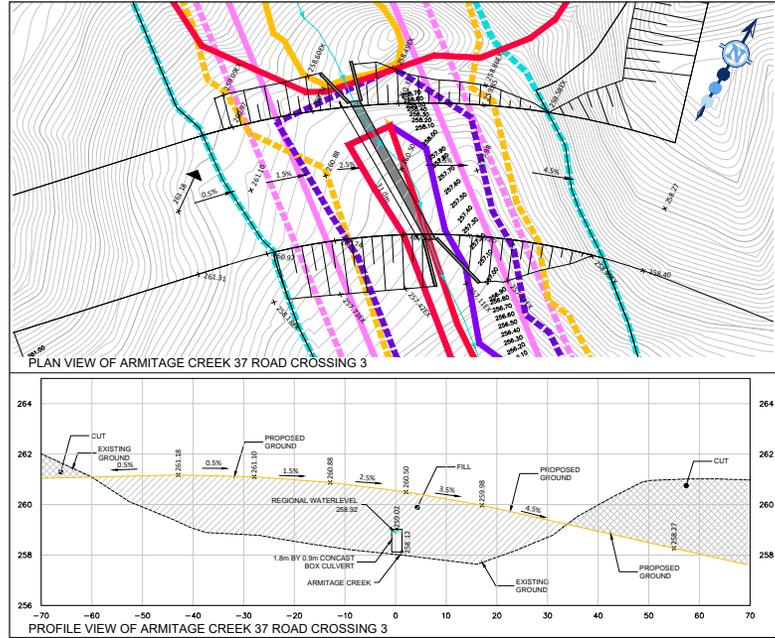
NOT RECOMMENDED

RECOMMENDED

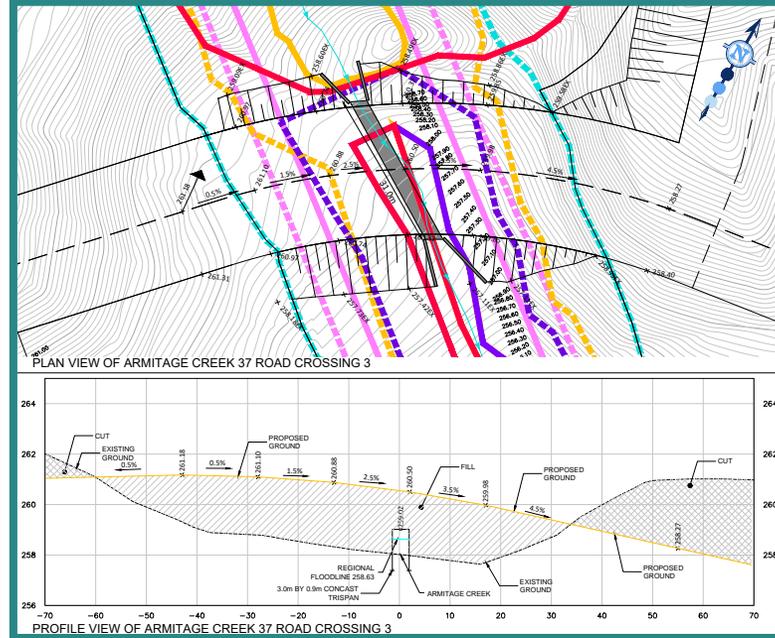
NOT RECOMMENDED

EVALUATION OF WATERCOURSE CROSSING #3 ALTERNATIVES

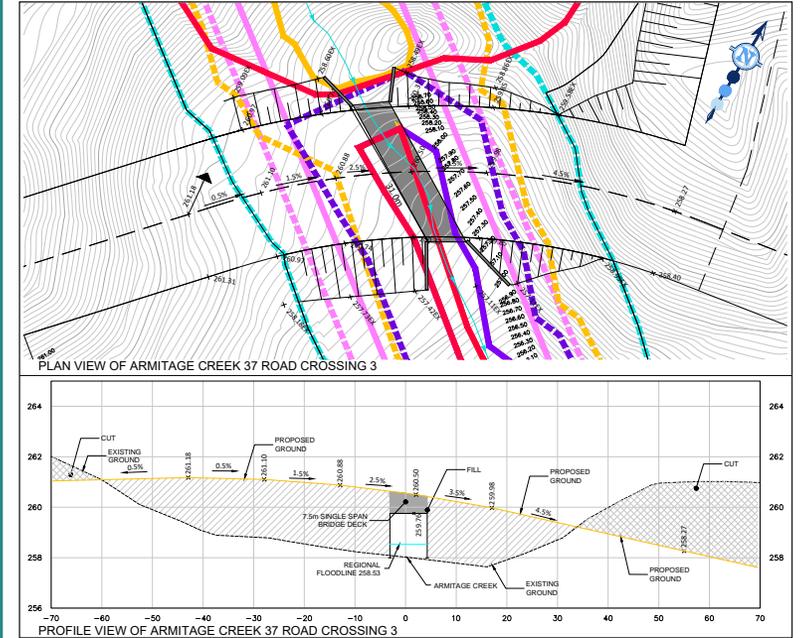
CLOSED BOTTOM CULVERT



OPEN BOTTOM CULVERT



SINGLE SPAN BRIDGE



LEGEND:

- ARMITAGE CREEK TRIBUTARY (BEACON, DECEMBER 2023)
- 270.00 EXISTING CONTOUR AND ELEVATION
- LSRCA STAKED DRIPLINE (JULY 2020)
- LSRCA STAKED DRIPLINE + 10m BUFFER (JULY 2022)
- ELC WETLAND COMMUNITY (BEACON, NOVEMBER 2023)
- ELC WETLAND COMMUNITY + 15m BUFFER (BEACON, NOVEMBER 2023)
- ELC WOODLAND COMMUNITY (BEACON, NOVEMBER 2023)
- ELC WOODLAND COMMUNITY + 10m BUFFER (BEACON, NOVEMBER 2023)
- WATERCOURSE + 30m BUFFER (BEACON, DECEMBER 2023)
- MEANDER BELT + 20% FACTOR OF SAFETY (BEACON, DECEMBER 2023)
- EROSION ACCESS ALLOWANCE MEANDER BELT + 20% FOS + 6.0m BUFFER (BEACON, DECEMBER 2023)

MAX 3:1 SLOPE

EVALUATION CATEGORY	#1: CLOSED BOTTOM CULVERT	#2: OPEN BOTTOM CULVERT	#3: SINGLE SPAN BRIDGE
Technical			
Natural Environment			
Financial			

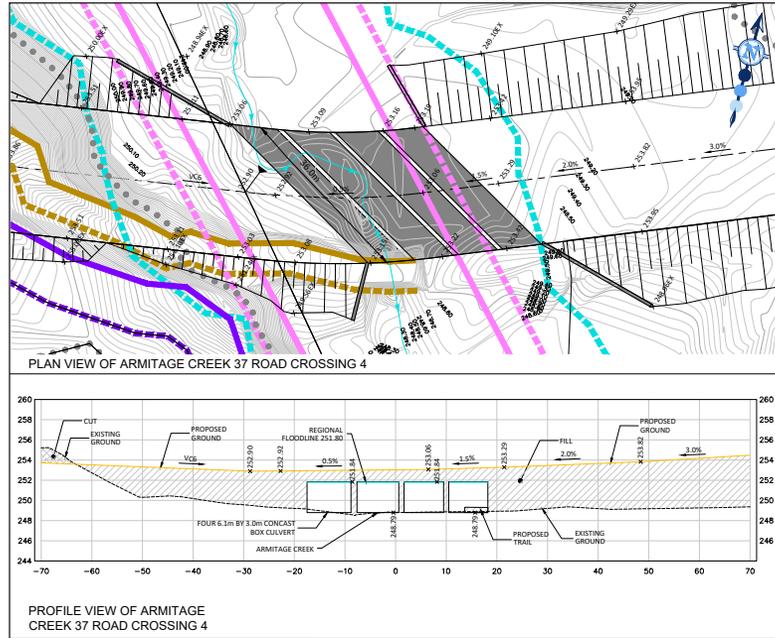
NOT RECOMMENDED

RECOMMENDED

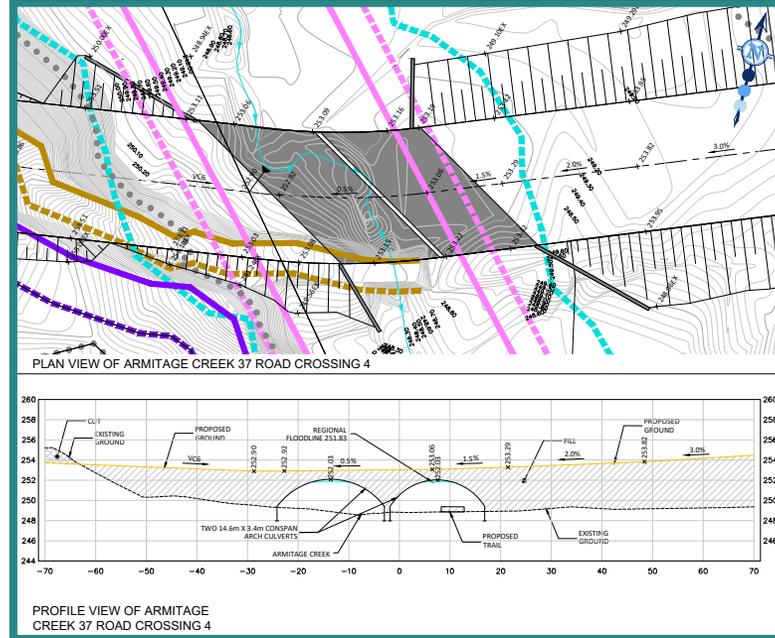
NOT RECOMMENDED

EVALUATION OF WATERCOURSE CROSSING #4 ALTERNATIVES

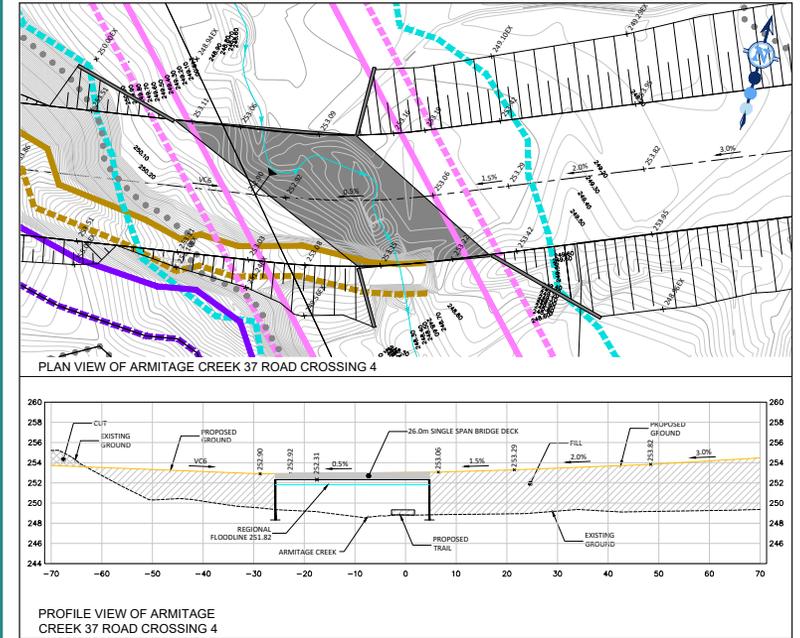
CLOSED BOTTOM CULVERT



OPEN BOTTOM CULVERT



SINGLE SPAN BRIDGE



LEGEND:

- ARMITAGE CREEK TRIBUTARY (BEACON, DECEMBER 2023)
- 270.00 EXISTING CONTOUR AND ELEVATION
- EXISTING REGIONAL FLOODLINE
- LSRCA STAKED DRIPLINE (JULY 2020)
- LSRCA STAKED DRIPLINE + 10m BUFFER (JULY 2022)
- LONG TERM STABLE SLOPE LINE (SOIL ENGINEERS LTD, FEBRUARY 2023)
- EROSION ACCESS ALLOWANCE LTSSL + 6.0m BUFFER (SOIL ENGINEERS LTD, FEBRUARY 2023)
- WATERCOURSE + 30m BUFFER (BEACON, DECEMBER 2023)
- MEANDER BELT + 20% FACTOR OF SAFETY (BEACON, DECEMBER 2023)
- EROSION ACCESS ALLOWANCE MEANDER BELT + 20% FOS + 6.0m BUFFER (BEACON, DECEMBER 2023)

MAX 3:1 SLOPE

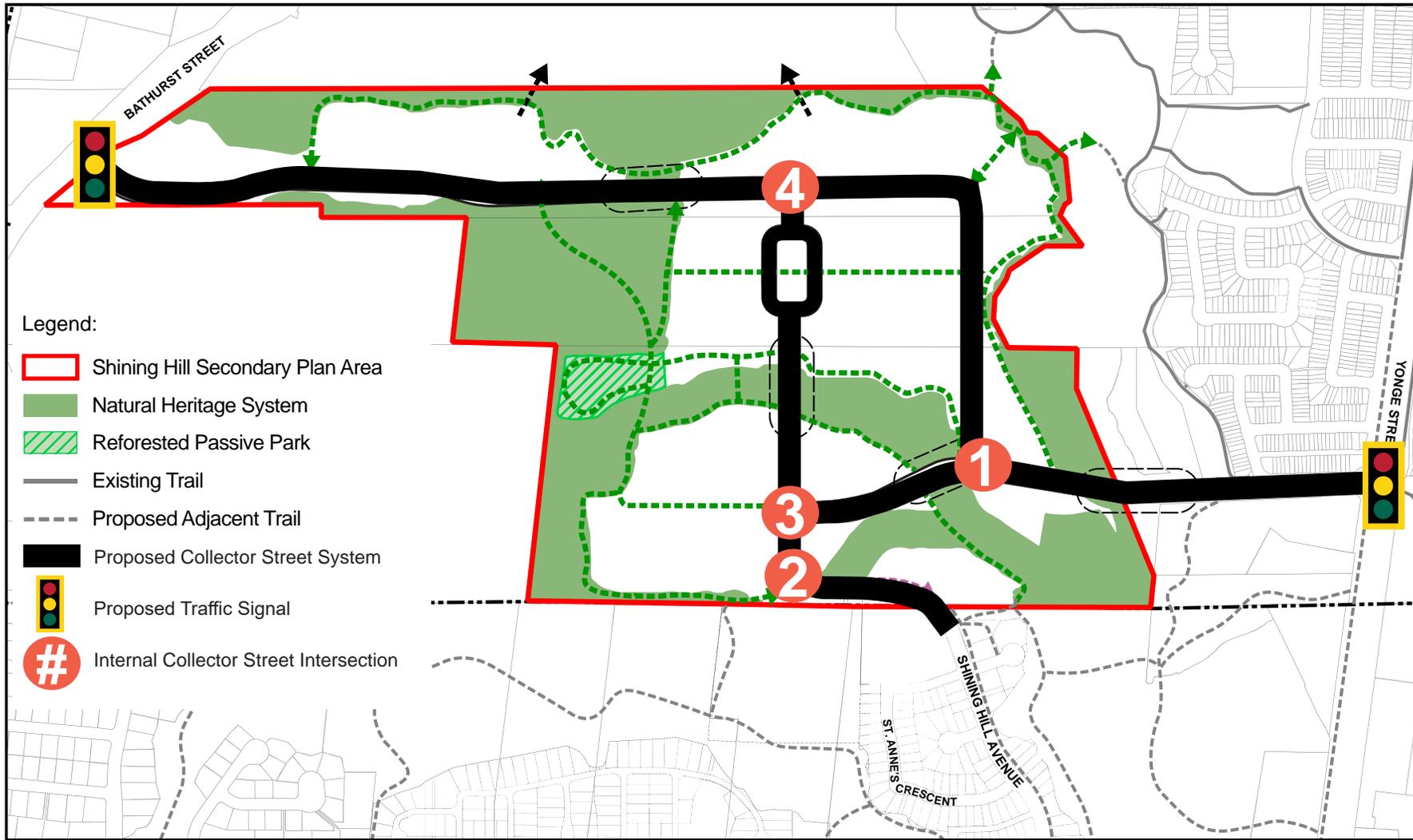
	#1: CLOSED BOTTOM CULVERT	#2: OPEN BOTTOM CULVERT	#3: SINGLE SPAN BRIDGE
EVALUATION CATEGORY			
Technical	Yellow	Green	Yellow
Natural Environment	Red	Green	Green
Financial	Green	Yellow	Red

NOT RECOMMENDED

RECOMMENDED

NOT RECOMMENDED

EVALUATION OF ALTERNATIVE INTERSECTION CONTROLS



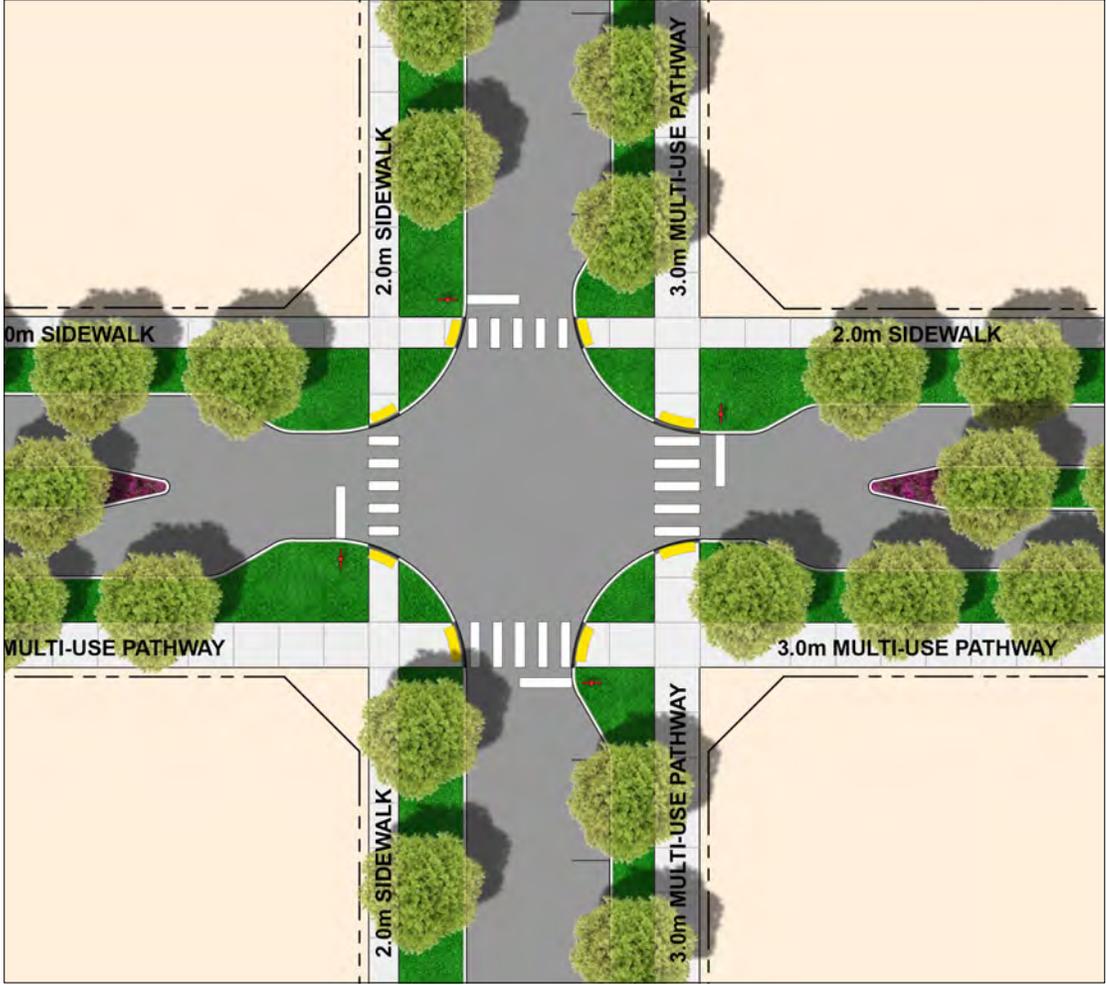
TRAFFIC SIGNALS will be required at the existing intersection of Yonge Street and Bennington Road and the proposed intersection of Bathurst Street and the new Collector Street.

The four main collector street intersections within Shining Hill could operate as **CONVENTIONAL STOP-CONTROLLED** intersections or as **ROUNDBABOUTS**; this is being evaluated as part of the MCEA.

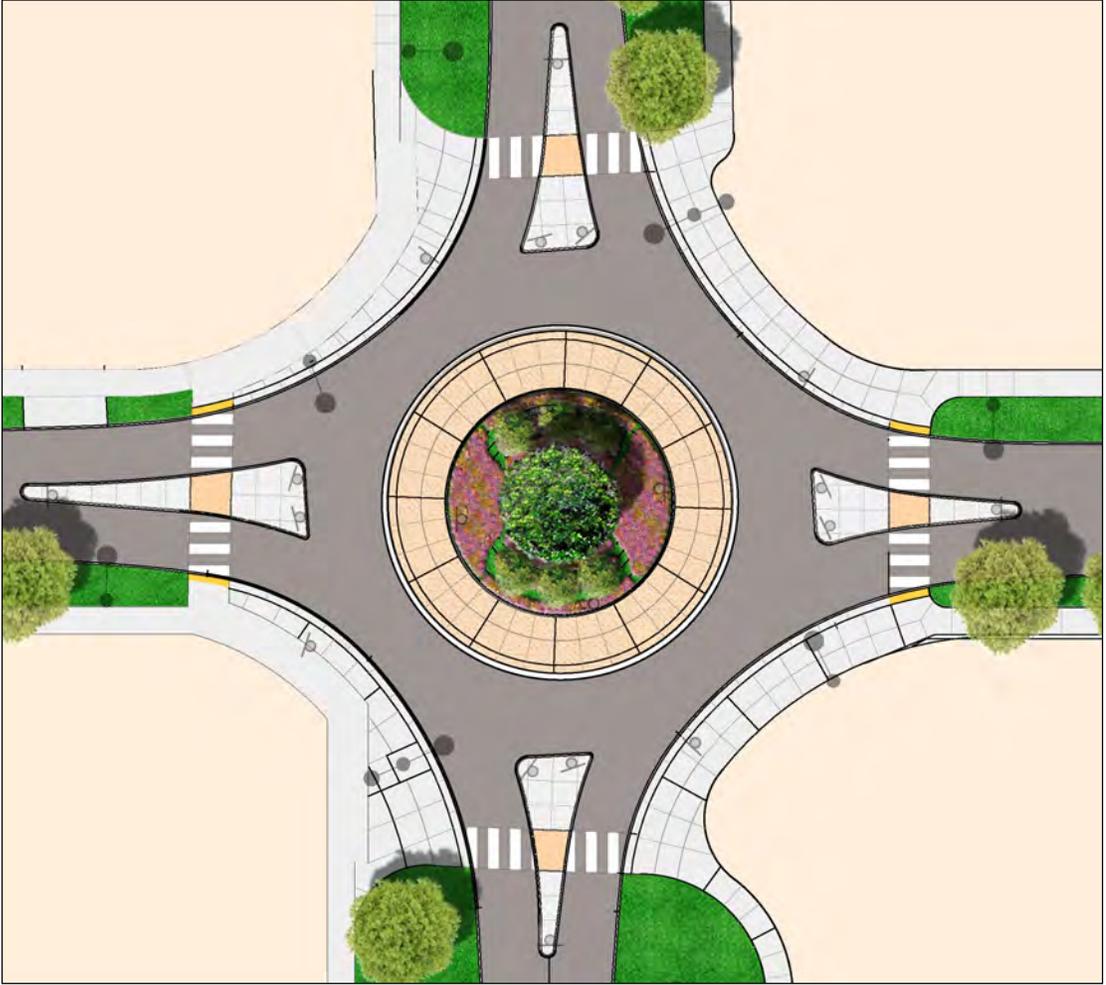


ALTERNATIVE INTERSECTION CONTROL OPTIONS

STOP CONTROLLED



ROUNDBABOUT



NOTE: Drawings are for illustrative purposes only; actual intersection design will depend on site conditions and cross-section of intersecting streets



EVALUATION OF INTERSECTION CONTROL ALTERNATIVES

Evaluation Category	Intersection #1	
	Stop Controlled	Round-a-bout
Transportation, Technical		
Built Environment		
Financial		
	NOT RECOMMENDED	RECOMMENDED

Evaluation Category	Intersection #3	
	Stop Controlled	Round-a-bout
Transportation, Technical		
Built Environment		
Financial		
	RECOMMENDED	NOT RECOMMENDED



Evaluation Category	Intersection #2	
	Stop Controlled	Round-a-bout
Transportation, Technical		
Built Environment		
Financial		
	NOT RECOMMENDED	RECOMMENDED

Evaluation Category	Intersection #4	
	Stop Controlled	Round-a-bout
Transportation, Technical		
Built Environment		
Financial		
	RECOMMENDED	NOT RECOMMENDED

Is there anything else that should be considered?
 Let us know!
 Email: shininghill@mgp.ca



FEEDBACK AND NEXT STEPS



NEXT STEPS

- Q&A Period and Break Out Stations (tonight)
- PIC #3 Presentation posted to website
- Public Commenting Period on PIC 3 open until **April 30th, 2024**
- Review feedback on Recommendations
- Finalize Secondary Plan and Recommended Design Options
- Submit Shining Hill Secondary Plan Official Plan Amendment to Town of Newmarket
- **STATUTORY PUBLIC MEETING** (~Fall 2024)
- Submit Final MCEA Report to the Ministry of the Environment, Conservation and Parks



Q & A SESSION

This presentation will be posted to the website following the meeting:
shininghillsecondaryplan.ca

Questions and comments can be sent via email at shininghill@mgp.ca
until **April 30, 2024**

THANK YOU FOR COMING!

Is there anything else that should be considered?
Find a team member tonight and let us know!

